

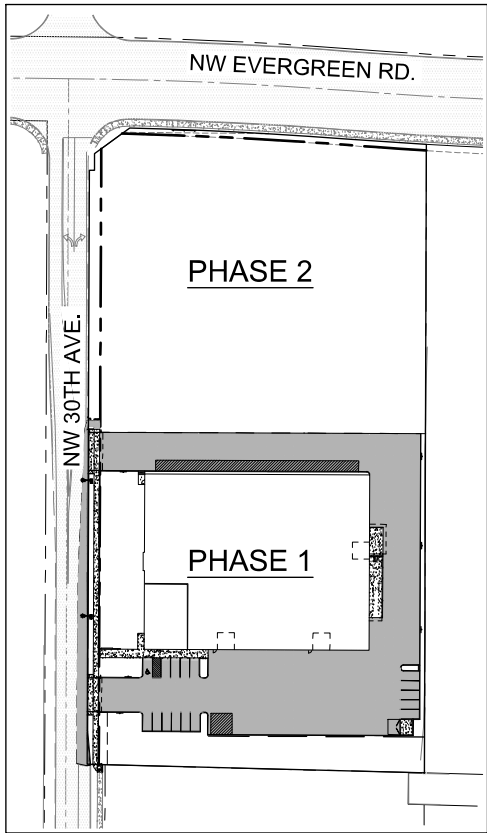
Kittredge, Plotted: Feb 01, 2020 - 9:20am, P:\Brad Taggart - West Evergreen Bus. Center\Drawg\Engineering\Sets\PU\CT100_COVR.dwg

CONSTRUCTION DRAWINGS FOR

W. EVERGREEN BUSINESS CENTER

PHASE 1

- PUP SET -



LOCATION MAP
NOT TO SCALE



EXISTING SITE AREAS

TOTAL EXISTING SITE AREA (AFTER 11' DEDICATION) = 4.16 ACRES

PROPOSED SITE PERVIOUS/IMPERVIOUS AREAS

ONSITE - PHASE 1

TOTAL IMPERVIOUS AREA = 1.74 ACRES
TOTAL PERVIOUS AREA = 0.477 ACRES

NE 30TH AVE - PHASE 1 FRONTAGE

TOTAL NEW IMPERVIOUS AREA = 0.108 ACRES
TOTAL PERVIOUS AREA = 0.022 ACRES

LOCATES (48 HOURS NOTICE REQUIRED PRIOR TO EXCAVATION)

THE CONTRACTOR MUST COMPLY WITH THE REGULATIONS OF O.R.S. 757.541 TO 757.571 IN LOCATION AND PROTECTION OF UNDERGROUND UTILITIES. OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.



CITY OF HILLSBORO, OREGON
TAX MAP T1N R2E - SECTION 28BA
TAX LOT 300

DEVELOPMENT TEAM

APPLICANT/OWNER

NE 30TH AND EVERGREEN 1, LLC
4804 NW BETHANY BLVD.
SUITE 1-2, PMB 212
PORTLAND, OREGON 97229
ATTN: BRAD TAGGART
PH: (503)914-7166

CIVIL ENGINEER

KITTREDGE ENGINEERS
6565 SW 207TH AVENUE
ALOHA, OR 97078
ATTN: CHRIS KITTREDGE, PE
PH:(503)708-3942

SURVEYOR

NW SURVEYING, INC.
1815 NW 169TH PLACE
BEAVERTON, OREGON 97006
ATTN: CLINT STUBBS, PLS
PH:(503)848-2127

ARCHITECT

KERRY W. VANDERZANDEN
ARCHITECT, PC
13981 NW MAIN STREET
BANKS, OREGON 97106
ATTN: MATT McCOURT
PH:(503)324-5220

GEOTECH ENGINEER

GEOTECH SOLUTIONS, INC.
1112 7TH STREET
OREGON CITY, OREGON 97045
ATTN:DON RONDEMA, MS, PE, GE
PH:(503)657-3487

LIGHTING ENGINEER

NORTHSTAR ELECTRICAL CONTRACTORS
11055 SW CLAY ST.
SHERWOOD, OR 97140
ATTN: ADAM SUMINSKI
PH: (503) 612-0840

SANITARY, STORM, WATER UTILITIES

CITY OF HILLSBORO PUBLIC WORKS
OPERATIONS
4415 NE 30TH AVE
HILLSBORO, OREGON 97123
PH:(503)615-6509
PH:(503)629-0111 AFTER HOURS

LEGAL DESCRIPTION/ADDRESS

TAX MAP 1N2 28BA, TAX LOT 300
LOCATED AT THE SE CORNER OF NW EVERGREEN RD AND
NW 30TH AVE.

PROPOSED USE

CONSTRUCTION OF 3 NEW INDUSTRIAL BUILDINGS BUILT IN 2 PHASES. ONE
WAREHOUSE BUILDING WILL BE BUILT IN PHASE 1 AND TWO INDUSTRIAL USE
BUILDINGS WILL BE BUILT IN PHASE 2. THESE PLANS ADDRESS PHASE 1 ONLY.

SITE ZONING

IP - INDUSTRIAL PARK

SITE AREA

4.345 ACRES = 189,256 S.F. - BEFORE R/W DEDICATION

VERTICAL DATUM:

ELEVATION DATUM IS WASHINGTON COUNTY, BASED ON BENCHMARK NO.
530, BEING A BRASS DISK SET IN A MONUMENT BOX FOR THE DONATION
LAND CLAIM CORNER LOCATED IN THE CENTER OF THE INTERSECTION
BETWEEN NW EVERGREEN PARKWAY AND NW SHUTE ROAD. THE
BENCHMARK HAS AN ELEVATION OF 214.08 FEET ON THE NGVD 1929 DATUM.



VICINITY MAP
NOT TO SCALE

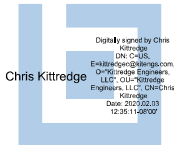
SHEET INDEX

- C100. COVER SHEET
- C101. GENERAL CONSTRUCTION NOTES
- C102. GENERAL CONSTRUCTION NOTES
- C103. EXISTING CONDITIONS
- C104. PHASE 1 AND PHASE 2 OVERALL SITE PLAN
- C105. SITE PLAN AND TYPICAL SECTIONS
- C106. PHASE 1 PROPOSED SITE GRADING PLAN
- C107. STORM SEWER PLAN
- C108. SANITARY SEWER AND WATER PLAN
- ~~C109. NE 30TH AVE. PLAN AND PROFILE~~
- ~~C109B. DRIVEWAY DETAILS~~
- ~~C110. CITY OF HILLSBORO STANDARD DETAILS~~
- C111. CITY OF HILLSBORO STANDARD DETAILS
- C112. CITY OF HILLSBORO STANDARD DETAILS
- C113. CITY OF HILLSBORO STANDARD DETAILS
- C114. CLEAN WATER SERVICES STANDARD DETAILS
- C115. CLEAN WATER SERVICES STANDARD DETAILS
- C116. CLEAN WATER SERVICES STANDARD DETAILS
- C117. MISCELLANEOUS DETAILS

ADS DETENTION SYSTEM DETAILS
SHTS 1-6

LANDSCAPE

- L-101 LANDSCAPE PLAN SOUTH
- L-102 WATER QUALITY PLANTING & DETAILS
- L-103 SOUTH WATER QUALITY PLANTING PLAN



THIS DESIGN COMPLIES WITH ORS 92.044 (7) IN THAT NO UTILITY
INFRASTRUCTURE IS DESIGNED TO BE WITHIN ONE (1) FOOT OF A SURVEY
MONUMENT LOCATION SHOWN ON A SUBDIVISION OR PARTITION PLAT. NO
DESIGN EXCEPTIONS NOR FINAL FIELD LOCATION CHANGES SHALL BE
PERMITTED IF THAT CHANGE WOULD CAUSE ANY UTILITY INFRASTRUCTURE
TO BE PLACED WITHIN THE PROHIBITED AREA.

HILLSBORO CASE FILE #DR-021-19

PLAN PREPARED BY:
KITTREDGE ENGINEERS, LLC
CONSULTING
CIVIL ENGINEERING
6565 SW 207TH AVENUE
ALOHA, OR 97078 (503)708-3942

COVER SHEET
- PUP SET -
WEST EVERGREEN BUSINESS CENTER
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD, STE 1-3, PORTLAND, OR 97229
BRAD TAGGART (503) 914-7166

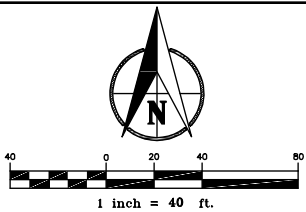
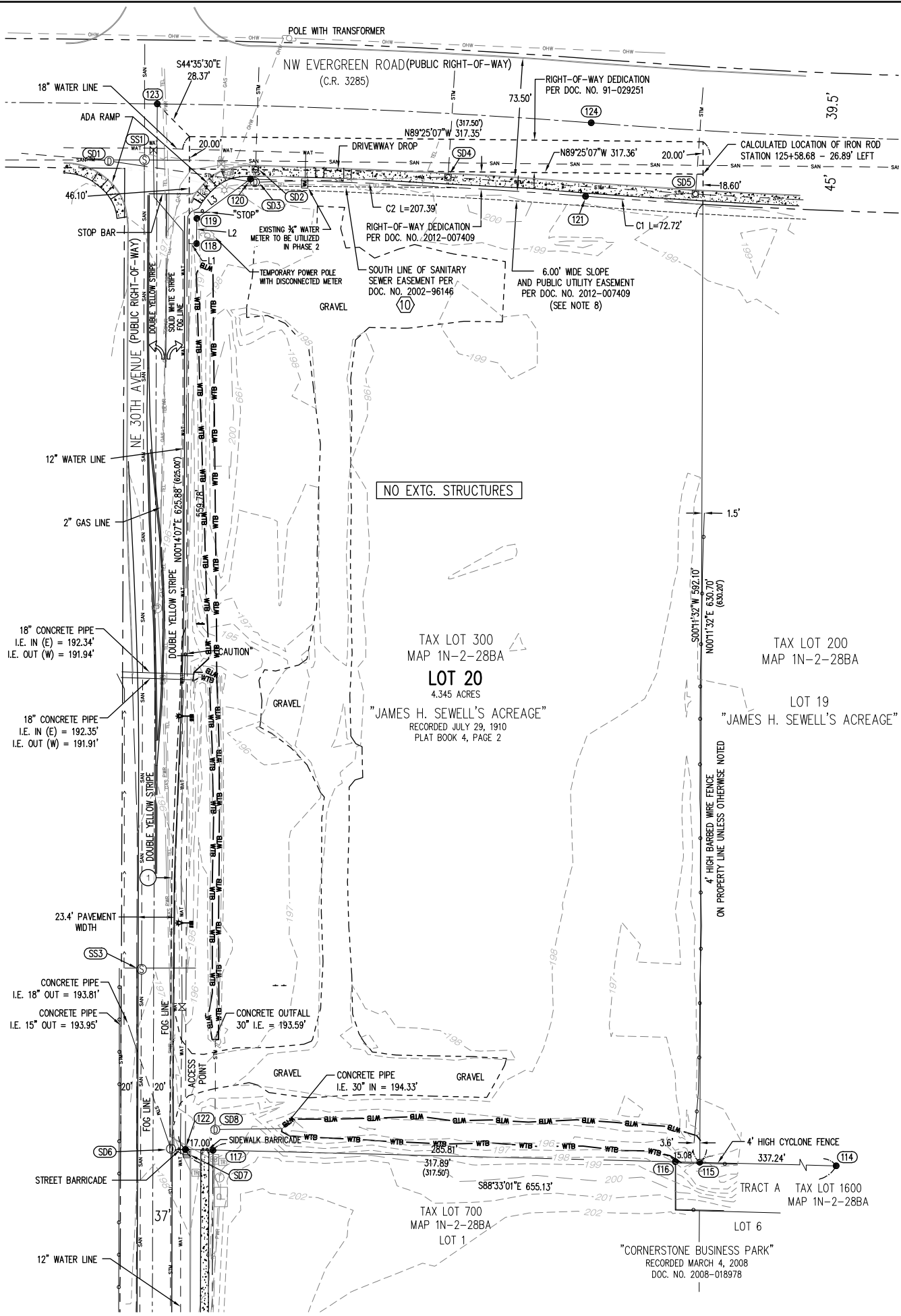
DATE:	REVISION
1/17/20	COH REDLINES
2/1/20	COH REDLINES

PLAN PREPARED FOR:
NE 30TH &
EVERGREEN 1, LLC
4804 NW BETHANY BLVD
STE 1-3, PMS 212
PORTLAND, OR 97229



DATE:	1/30/2020
DRAWN BY:	CPK
DESIGNED BY:	CPK
CHECKED BY:	CPK

SHEET
C100



SANITARY SEWER INFORMATION

- (SS1) MANHOLE
RIM = 197.93'
8" I.E. IN (N) = 182.1'
10" I.E. IN (S) = 182.2'
12" I.E. IN (E) = 181.9'
12" I.E. OUT (W) = 181.8'
- (SS2) MANHOLE
RIM = 200.88'
8" I.E. IN (N&S) = 184.1' (STUB)
12" I.E. IN (E) = 183.9'
12" I.E. OUT (W) = 183.8'
- (SS3) MANHOLE
RIM 196.73'
8" I.E. IN (E&W) = 183.5' (STUB)
10" I.E. IN (S) = 183.5'
10" I.E. OUT (N) = 183.3'
- (SS4) MANHOLE
RIM 199.60'
8" I.E. IN (E&W) = 185.2' (STUB)
10" I.E. IN (S) = 185.2'
10" I.E. OUT (N) = 185.0'

GENERAL NOTES

1. THE CONTRACTOR SHALL BE REQUIRED TO VISIT SITE PRIOR TO PREBID MEETING TO FAMILIARIZE HIMSELF WITH DEMOLITION, GRADING, ETC., AND IMPROVEMENTS TO REMAIN.
2. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL ITEMS NOT OTHERWISE LISTED HEREIN THAT CONFLICT WITH THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY TO DETERMINE IF ANY ITEMS NOT SHOWN ON THE PLANS MUST BE REMOVED. FAILURE TO DO SO DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY AND COST FOR REMOVING ITEMS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING (IF APPLICABLE) ALL KNOWN ENVIRONMENTAL INVESTIGATION STUDIES AND REPORTS PRIOR TO BIDDING. REPORTS ARE INCLUDED IN THE PROJECT SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH THE ENVIRONMENTAL ENGINEER ON EXACT AREAS OF CONTAMINATION, IF ANY.
4. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO FOLLOW WASHINGTON COUNTY GUIDELINES.
5. ALL EXISTING REMAINING UTILITIES AND REMAINING IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY AND THE ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DOCUMENT PRIOR DAMAGES.
6. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING, OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURE, IF THEY ARE DEEMED NECESSARY.

DEMOLITION NOTES:

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT IN PREPARATION FOR PUBLIC 1/2 STREET IMPROVEMENT. FINAL ASPHALT AND ROCK SUBGRADE SECTION TO MATCH NE 30TH STREET SECTION SHOWN ON SHEET C104.

SEE EARLY GRADING PLANS FOR EROSION CONTROL IMPLEMENTATION. THESE ITEMS WILL BE PLACED BEFORE THE PROJECT WORK IN THIS PLAN SET IS IMPLEMENTED.

ALL MANHOLES, CLEANOUTS, VAULTS, RISER BOXES, ETC. NOT SLATED FOR REMOVAL, TO BE ADJUSTED TO FINISH DESIGN GRADE ELEVATIONS.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

STORM SEWER INFORMATION

- (SD1) MANHOLE
RIM = 197.79'
21" I.E. IN (E) = 193.0'
21" I.E. OUT (W) = 193.0'
- (SD2) CURB INLET
RIM = 198.64'
GUTTER INLET = 197.99'
I.E. 12" IN (N) = 194.6'
I.E. 12" OUT (S) = 194.2'
- (SD3) MANHOLE
RIM = 198.70'
12" I.E. IN (N) = 194.0'
21" I.E. IN (E) = 193.6'
21" I.E. OUT (W) = 193.5'
- (SD4) CURB INLET
RIM = 199.31'
GUTTER INLET = 198.67'
12" I.E. IN (N) = 194.9'
21" I.E. IN (E) = 194.1'
21" I.E. OUT (W) = 194.1'
- (SD5) MANHOLE
RIM = 200.05'
GUTTER INLET = 199.40'
12" I.E. IN (N) = 195.6'
21" I.E. IN (E) = 194.6'
21" I.E. OUT (W) = 194.6'
- (SD6) MANHOLE
RIM = 197.67'
10" I.E. IN (SE) = 194.6'
15" I.E. IN (S) = 194.4'
18" I.E. OUT (NW) = 194.3'
- (SD7) CATCH BASIN
RIM = 197.32'
10" I.E. OUT (NW) = 194.8'
- (SD8) MANHOLE
RIM = 198.26'
30" IN (E)
30" OUT (N)
FLOWLINE I.E. = 193.9'

- FIRE HYDRANT
WATER METER
WATER VALVE
WATER VAULT
SANITARY SEWER MANHOLE
STORM SEWER CATCH BASIN
STORM SEWER CURB INLET
STORM SEWER MANHOLE
GAS METER
GAS VALVE
SIGN
FOUND SURVEY MONUMENT

RIGHT-OF-WAY LINE	---
BOUNDARY LINE	---
PROPERTY LINE	---
CENTERLINE	---
DITCH	---
CURB	---
EDGE OF PAVEMENT	---
EASEMENT	---
FENCE LINE	---
GRAVEL EDGE	---
POWER LINE	---
OVERHEAD WIRE	---
TELEPHONE LINE	---
GAS LINE	---
STORM SEWER LINE	---
SANITARY SEWER LINE	---
WATER LINE	---
SPL CORRIDOR BOUNDARY	---

BOUNDARY RESOLUTION

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTH LINE OF THE PROPERTY HOLDING THE MONUMENTS AT 114 AND 122 WITH THE RECORD BEARING PER THE PLAT OF "CORNERSTONE BUSINESS PARK". THE MONUMENT AT 123 WAS HELD WITH A WESTERLY OFFSET OF 20.00 FEET FROM THE MONUMENT AT 122 TO ESTABLISH THE CENTERLINE OF NE 30TH AVENUE. THAT LINE WAS OFFSET 20.00 FEET TO THE EAST TO ESTABLISH THE WEST PROPERTY BOUNDARY. THE CENTERLINE OF NW EVERGREEN ROAD WAS ESTABLISHED BY HOLDING THE MONUMENTS AT 123, 124 AND 125 ALONG WITH RECORD INFORMATION FROM SURVEY NUMBER 31955. RECORD INFORMATION FROM THE DEDICATION DEED RECORDED AS DOCUMENT NUMBER 2012-007409 ALONG WITH THE MONUMENTS AT 118, 119, 120 AND 121 WERE HELD TO ESTABLISH THE SOUTHERLY RIGHT-OF-WAY LINE OF NW EVERGREEN ROAD, ALSO BEING THE NORTHERLY PROPERTY BOUNDARY. THE EAST PROPERTY BOUNDARY WAS ESTABLISHED BY HOLDING THE MONUMENT AT 115 ALONG WITH A CALCULATED LOCATION OF A DESTROYED IRON ROD THAT WAS LOCATED AT THE NORTHEAST CORNER OF THE PROPERTY DEDICATED BY DOCUMENT NUMBER 2012-007409. THAT LOCATION WAS ESTABLISHED BY HOLDING THE RECORD STATION AND OFFSET SHOWN ON SURVEY NUMBER 31955.

NOTES

1. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED JULY 5, 2016.
2. RIGHT-OF-WAY WIDTHS ARE BASED ON THE PLAT, THE ASSESSOR'S MAP AND MULTIPLE RECORDED SURVEYS.
3. THERE IS NO PHYSICAL ADDRESS FOR THE SURVEYED PROPERTY.
4. THE GROSS PROPERTY AREA IS 4.345 ACRES, MORE OR LESS.
5. THE UNDERGROUND UTILITIES ARE BASED ON THE MARKINGS PER LOCATE TICKET NUMBERS 16149184 AND 16159505.
6. ELEVATIONS AND CONTOURS ARE BASED ON WASHINGTON COUNTY BENCHMARK NO. 530 BEING A BRASS DISK SET IN A MONUMENT BOX FOR THE DONATION LAND CLAIM CORNER LOCATED IN THE CENTER OF THE INTERSECTION BETWEEN NW EVERGREEN PARKWAY AND NW SHUTE ROAD. THE BENCHMARK HAS AN ELEVATION OF 214.08 FEET ON THE NGVD 1929 DATUM.
7. A SLOPE AND PUBLIC UTILITY EASEMENT AFFECTS THE PROPERTY AS SHOWN ALONG THE RIGHT-OF-WAY OF NW EVERGREEN ROAD. THE EASEMENT IS CREATED BY THE DEDICATION DEED RECORDED AS DOCUMENT NUMBER 2012-007409.
8. THE ABSENCE OF WETLANDS BEING SHOWN DOES NOT NECESSARILY INDICATE THAT NONE EXIST.



PLAN PREPARED BY:
KITTRIDGE ENGINEERS, LLC
CONSULTING CIVIL ENGINEERING
6566 SW 307TH AVENUE
ALOHA, OR 97078 (503)708-3942

EXISTING CONDITIONS
- PUP SET -
WEST EVERGREEN BUSINESS CENTER
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD, STE 1-3, PORTLAND, OR 97229
BRAD TAGGART (503) 914-7166

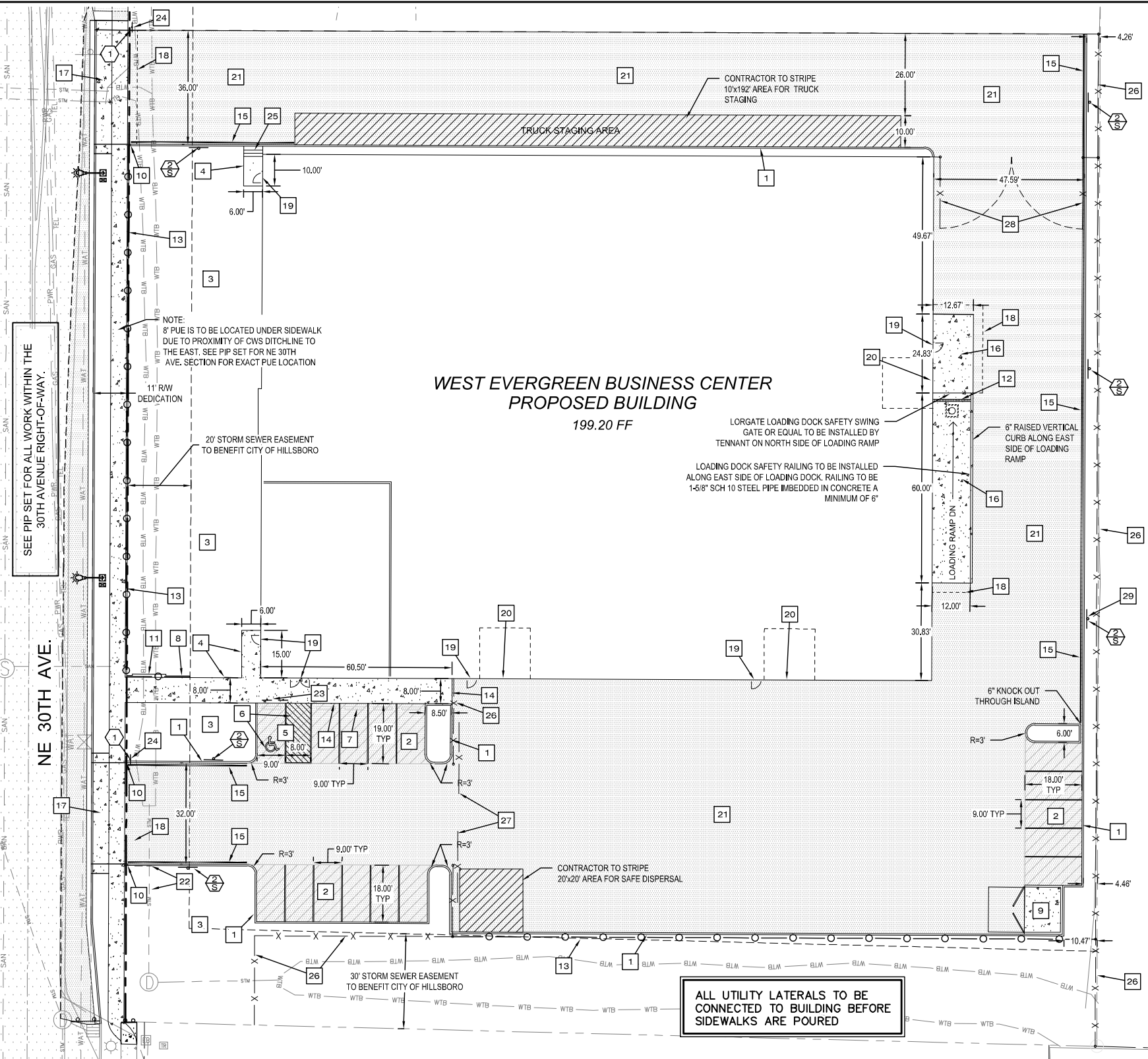
DATE:	REVISION
1/17/20	COH REDLINES
2/1/20	COH REDLINES

PLAN PREPARED FOR:
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD
STE 1-3, PMS 212
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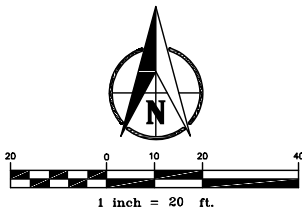
DATE: 1/30/2020
DRAWN BY: CPK
DESIGNED BY: CPK
CHECKED BY: CPK

SHEET
C103



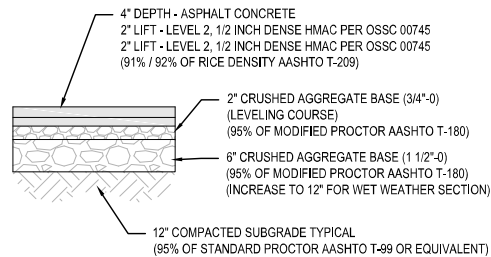
SITE CONSTRUCTION NOTES

- | | | | | |
|---|---|---|--|---|
| 1. CONSTRUCT 6" VERTICAL CURB, SEE COH DETAIL 230-3 ON SHEET C110. | 8. 6" WIDE MONOLITHICALLY POURED WALL, SEE SHEET C106. | 15. PAINT CURB RED FOR FIRE ZONE, SEE DETAIL ON SHEET C117. | 23. HANDICAP SIGN, SEE DETAIL 2 & 3 ON ARCHITECTURAL SHEET A-100. | 29. FIRE LANE SIGN, INSTALL POST PER COH DETAIL 320-1 ON SHEET C113, TYP. |
| 2. CONSTRUCT LIGHT AC PAVEMENT, SEE DETAIL THIS SHEET. | 9. CONSTRUCT TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS. | 16. CONCRETE PAVEMENT, SEE SECTION DETAIL THIS SHEET. | 24. STOP SIGN, INSTALL POST PER COH DETAIL 320-1 ON SHEET C113. | |
| 3. CONSTRUCT LANDSCAPE AREA, SEE LANDSCAPE PLANS. | 10. CURB TRANSITION, SLOPE TO END @ 2:1 | 17. COMMERCIAL DRIVEWAY, SEE PIP SET. | 25. STAIRS, SEE SHEET C106 FOR INFO. | |
| 4. CONSTRUCT CONCRETE SIDEWALK, SEE COH DETAIL 230-4 ON SHEET C110 PIP SET. | 11. 10.5' LONG 12" CONCRETE WALL CENTERED ON 30" STORM PIPE. SEE WALL DETAIL ON SHEET C106. | 18. CONSTRUCT CONCRETE IMPACT PANEL, SEE PIP SET. | 26. 6' TALL VINYL COATED CHAIN LINK FENCE W/ 3 STANDS OF BARB WIRE ON TOP. | |
| 5. CONSTRUCT HANDICAP PARKING STALL, SEE DETAIL 4 ON ARCHITECTURAL SHEET A-100. | 12. SEE SHEET C117 FOR TRENCH DRAIN, VAULT SUMP PUMP AND ELECT. INFORMATION. | 19. MAN DOOR, TYP | 27. 6' TALL VINYL COATED CHAIN LINK ROLLING GATE FENCE W/ 3 STANDS OF BARB WIRE ON TOP. GATE TO HAVE KNOX LOCKS (FOR MANUAL GATE USE MODEL #3770). | |
| 6. HANDICAP SPACE SIGNAGE, SEE DETAIL 4 ON ARCHITECTURAL SHEET A-100. | 13. 4' TALL BLACK VINYL FENCE, SEE PIP SET. | 20. ROLL UP DOOR, TYP | 28. 6' TALL VINYL COATED CHAIN SWING GATE W/ 3 STANDS OF BARB WIRE ON TOP. GATE TO HAVE KNOX LOCKS (FOR MANUAL GATE USE MODEL #3770). | |
| 7. INSTALL WHEEL STOP, TYP OF 5, SEE DETAIL ON SHEET C117. | 14. SIDEWALK TO BE CONSTRUCTED FLUSH WITH AC. | 21. CONSTRUCT HEAVY AC PAVEMENT, SEE DETAIL THIS SHEET. | | |
| | | 22. 8' PUE, ENDS TO THE NORTH AT CURB. | | |



TYPICAL 9.0' WIDE PARKING STALL DETAIL

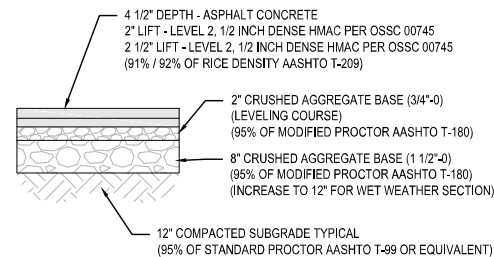
NOT TO SCALE



*REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL DETAILS.

ON-SITE TYPICAL LIGHT AC PAVEMENT SECTION

NOT TO SCALE



*REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL DETAILS.

ON-SITE TYPICAL HEAVY AC PAVEMENT SECTION

NOT TO SCALE

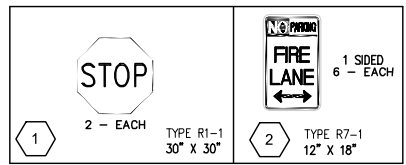
LEGEND

EXISTING	APPROVED
FIRE HYDRANT	UTILITY POLE
WATER VALVE	POWER VAULT
WATER VAULT	ELECTRICAL METER
SANITARY SEWER MANHOLE	POWER JUNCTION BOX
STORM SEWER CATCH BASIN	ELECTRICAL MANHOLE VAULT
STORM SEWER CURB INLET	POWER TRANSFORMER
STORM SEWER MANHOLE	STREET LIGHT
GAS METER	TELEPHONE/TELEVISION VAULT
GAS VALVE	TELEPHONE MANHOLE
SIGN	TELEPHONE/TELEVISION RISER
FOUND SURVEY MONUMENT	TRAFFIC SIGNAL JUNCTION BOX

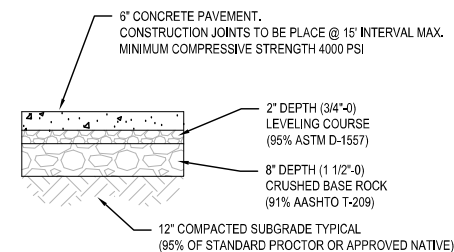
RIGHT-OF-WAY LINE	---
BOUNDARY LINE	---
PROPERTY LINE	---
CENTERLINE	---
DITCH	---
CURB	---
EDGE OF PAVEMENT	---
EASEMENT	---
FENCE LINE	---
GRAVEL EDGE	---
POWER LINE	---
OVERHEAD WIRE	---
TELEPHONE LINE	---
GAS LINE	---
STORM SEWER LINE	---
SANITARY SEWER LINE	---
WATER LINE	---

PROPOSED

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
STANDARD CURB	---
PUBLIC UTILITY EASEMENT	---
EXTG. PAVEMENT AREA	---
PROPOSED LIGHT AC PAVEMENT	---
PROPOSED HEAVY AC PAVEMENT	---
PROPOSED SIDEWALK	---



*INSTALL SIGNS ON STEEL POST



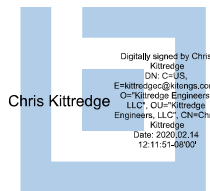
*REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL DETAILS.

TYPICAL CONCRETE PAVEMENT SECTION (PRIVATE)

NOT TO SCALE

CONCRETE PAVEMENT NOTES - PRIVATE

- CONSTRUCTION JOINTS TO BE ABOUT 30 TIMES THE PAVEMENT THICKNESS OR 15' MAX. IN ANY DIRECTION.
- SAWCUT CONTROL JOINTS SHOULD BE CUT WITHIN 6-12 HOURS OF CONCRETE PLACEMENT.
- EXPANSION JOINTS SHOULD BE PLACED A MAXIMUM OF 60' IN ANY DIRECTION AND SHOULD BE PLACED WHERE PAVEMENT ABUTS ANY STRUCTURE.
- DOWELS SHOULD HAVE A DIAMETER EQUAL TO 1/8 THE SLAB THICKNESS, BE SPACED ON 12' INTERVALS, AND BE EMBEDDED AT LEAST 9".
- WHERE NOT SPECIFIED HEREIN, CONCRETE PAVEMENT SHOULD COMPLY ODOT STANDARD SPECIFICATIONS.



PLAN PREPARED BY:
KITTRIDGE ENGINEERS, LLC
CONSULTING
CIVIL ENGINEERING
6565 SW 207TH AVENUE
ALOHA, OR 97078 (503) 708-3942

SITE PLAN AND TYPICAL SECTIONS
- PUP SET -
WEST EVERGREEN BUSINESS CENTER
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD. STE 1-3, PORTLAND, OR 97229
BRAD TAGGART (503) 914-7166

DATE:	REVISION
1/17/20	COH REDLINES
2/1/20	COH REDLINES

PLAN PREPARED FOR:
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD
STE 1-3, PMS 212
PORTLAND, OR 97229



DATE: 1/30/2020
DRAWN BY: CPK
DESIGNED BY: CPK
CHECKED BY: CPK

SHEET
C105



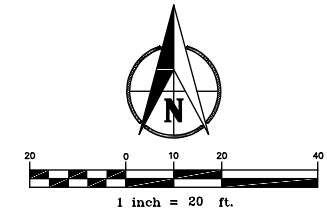
THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE AND ARE

LEGEND

THE APPROVAL OF THESE PLANS SHALL BE CONSIDERED TO BE A PERMIT FOR CONSTRUCTION OF ANY CODE VIOLATION OF THIS CITY.

EXISTING		
FIRE HYDRANT		
WATER METER		
WATER VALVE		
WATER VAULT		
SANITARY SEWER MANHOLE		
STORM SEWER CATCH BASIN		
STORM SEWER CURB INLET		
STORM SEWER MANHOLE		
GAS METER		
GAS VALVE		
SIGN		
FOUND SURVEY MONUMENT		

GUY WIRE ANCHOR	
UTILITY POLE	
POWER VAULT	
ELECTRICAL METER	
POWER JUNCTION BOX	
ELECTRICAL MANHOLE VAULT	
POWER TRANSFORMER	
STREET LIGHT	
TELEPHONE/TELEVISION VAULT	
TELEPHONE MANHOLE	
TELEPHONE/TELEVISION RISER	
TRAFFIC SIGNAL JUNCTION BOX	



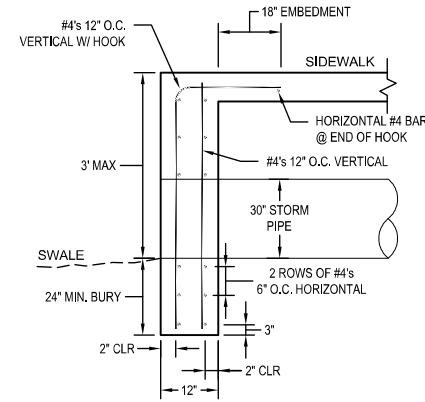
RIGHT-OF-WAY LINE	---
BOUNDARY LINE	---
PROPERTY LINE	---
CENTERLINE	---
DITCH	---
CURB	---
EDGE OF PAVEMENT	---
EASEMENT	---
FENCE LINE	---
GRAVEL EDGE	---
POWER LINE	---
OVERHEAD WIRE	---
TELEPHONE LINE	---
GAS LINE	---
STORM SEWER LINE	---
SANITARY SEWER LINE	---
WATER LINE	---

PROPOSED

RIGHT OF WAY	---
PROPERTY LINE	---
CURB AND GUTTER	---
STANDARD CURB	---
PUBLIC UTILITY EASEMENT	---
EXTG. PAVEMENT AREA	---
PROPOSED LIGHT AC PAVEMENT	---
PROPOSED HEAVY AC PAVEMENT	---
PROPOSED SIDEWALK	---
PROPOSED CATCHBASIN W/ INLET PROTECTION	---

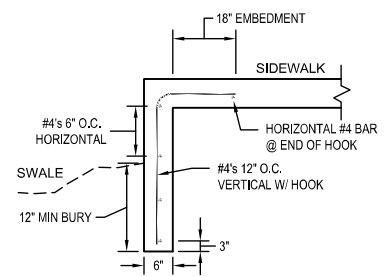
SPOT ELEVATIONS ABBREVIATIONS

- S = SPOT ELEVATION (AC OR SW FINISH GRADE)
- BC = BOTTOM OF CURB
- TC = TOP OF CURB
- BTM = BOTTOM @ LOADING DOCK
- HP = HIGH POINT - AC
- LP = LOW POINT - AC
- DOOR = DOORWAY
- TW = TOP OF WALL
- BW = BOTTOM OF WALL



TYPICAL 12" WIDE SWALE WALL SECTION DETAIL

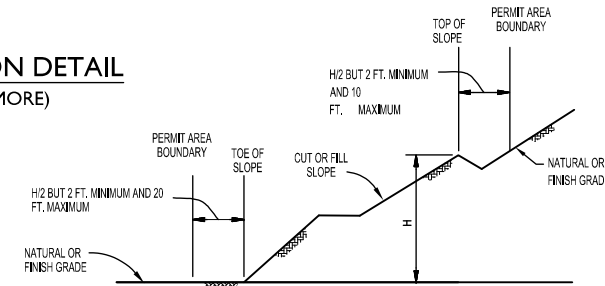
NTS



TYPICAL SWALE WALL SECTION DETAIL

(FOR WALLS W/ 6" EXPOSURE OR MORE)

NTS



GRADING SETBACK DIMENSIONS PER WCGO-14.12.300 FIGURE 4

NTS

NE 30TH AVE.

SEE PIP SET FOR ALL WORK WITHIN THE NE 30TH AVENUE RIGHT-OF-WAY.

WEST EVERGREEN BUSINESS CENTER PROPOSED BUILDING 199.20 FF

SEE SHEET C104 FOR LIGHT AND HEAVY AC SECTIONS.

SEE SHEET C110, COH DETAIL 230-3

PLAN PREPARED BY: **KITTRIDGE ENGINEERS, LLC**

**CONSULTING
CIVIL ENGINEERING**

6565 SW 207TH AVENUE
ALOHA, OR 97078 (503)708-3942

PHASE 1 PROPOSED SITE GRADING PLAN - PUP SET - WEST EVERGREEN BUSINESS CENTER

NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD, STE 1-3, PORTLAND, OR 97229
BRAD TAGGART (503) 914-7166

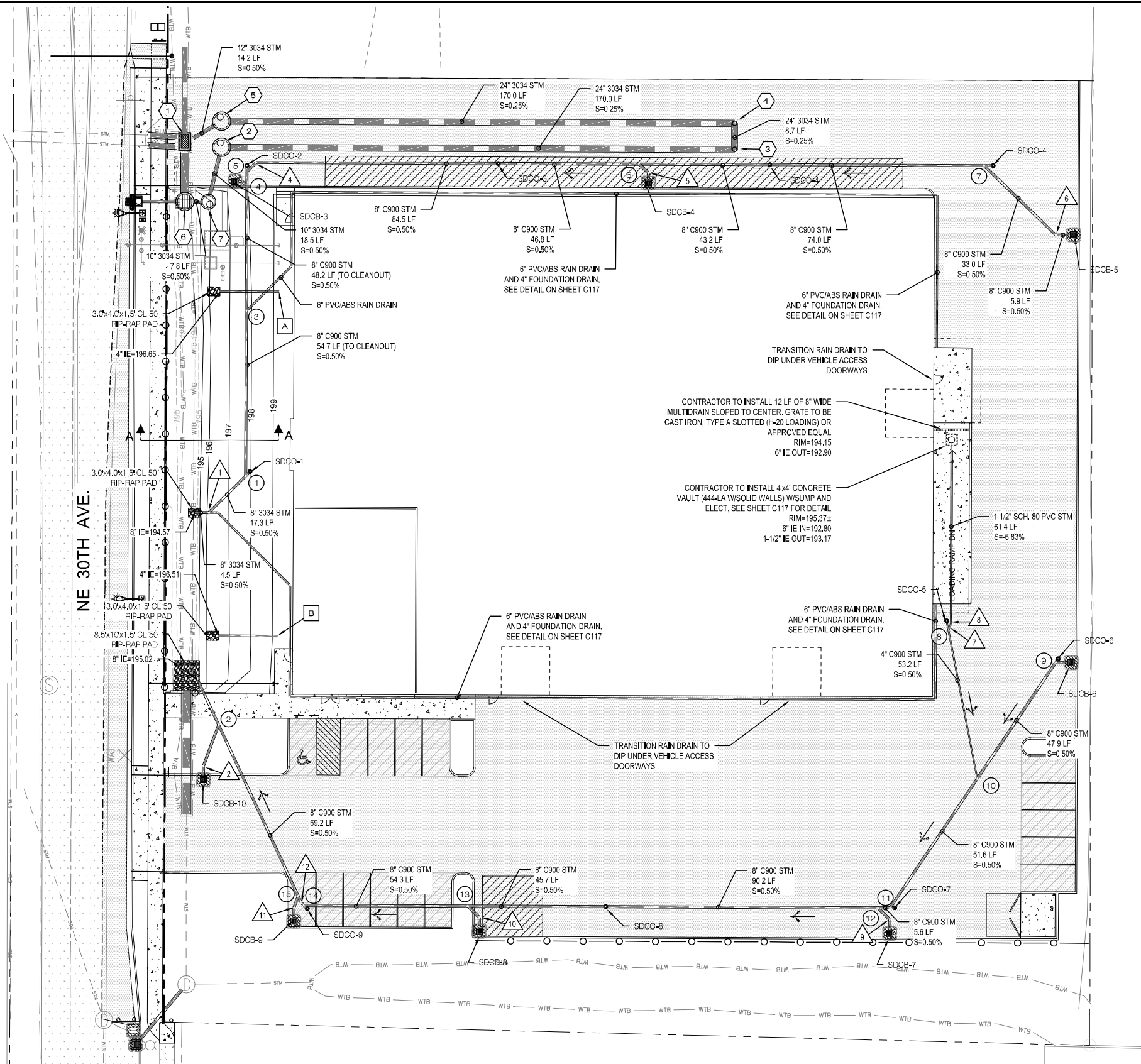
DATE:	REVISION
1/17/20	COH REDLINES
2/1/20	COH REDLINES

PLAN PREPARED FOR:
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD
STE 1-3, PMS 212
PORTLAND, OR 97229



DATE:	1/30/2020
DRAWN BY:	CPK
DESIGNED BY:	CPK
CHECKED BY:	CPK

SHEET
C106



PRIVATE STORM DRAIN BENDS

- | | |
|--|---|
| ① 8" WYE
IE = 194.68 | ⑩ 8" WYE W/8"x4" REDUCER
IE = 196.66 |
| ② 8" WYE
IE = 195.10 | ⑪ 8" WYE
IE = 196.40 |
| ③ 8" WYE
IE = 194.95 | ⑫ 8" WYE
IE = 196.38 |
| ④ 8" WYE
IE = 195.16 | ⑬ 8" WYE
IE = 195.70 |
| ⑤ 8" WYE
IE = 195.18 | ⑭ 8" WYE
IE = 195.43 |
| ⑥ 8" WYE
IE = 195.84 | ⑮ 8" WYE
IE = 195.41 |
| ⑦ 8" WYE
IE = 196.41 | |
| ⑧ 8" WYE W/ 8"x2" REDUCER
IE = 196.91 | |
| ⑨ 8" WYE
IE = 196.89 | |

PRIVATE STORM DRAIN DATA

SDDI-2 RIM = 197.70 12" IE OUT = 196.91	SDCB-5 RIM = 198.28 8" IE OUT = 196.61	SDCB-8 RIM = 197.70 8" IE OUT = 196.03
SDCB-3 RIM = 196.95 8" IE OUT = 195.28	SDCB-6 RIM = 198.60 8" IE OUT = 196.93	SDCB-9 RIM = 197.12 8" IE = 195.45
SDCB-4 RIM = 197.70 8" IE OUT = 196.03	SDCB-7 RIM = 198.09 8" IE OUT = 196.42	SDCB-10 RIM = 197.28 8" IE = 195.61

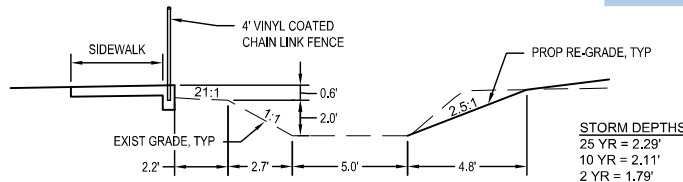
* ALL PRIVATE CATCH BASINS TO BE STANDARD LYNCH TYPE.

PRIVATE STORM CLEANOUT DATA

SDCO-1 RIM = 197.96 8" IE = 194.69	SDCO-2 RIM = 197.17 8" IE = 195.19	SDCO-3 RIM = 198.47 8" IE = 195.60
SDCO-4 RIM = 198.29 8" IE = 196.06	SDCO-5 RIM = 198.78 8" IE = 196.43	SDCO-6 RIM = 198.68 8" IE = 196.90
SDCO-7 RIM = 198.27 8" IE = 196.41	SDCO-8 RIM = 198.22 8" IE = 195.93	SDCO-9 RIM = 197.34 8" IE = 195.44

PRIVATE STORM DRAIN BENDS

- | | |
|----------------------------|-----------------------------------|
| ① 8" 45° BEND
IE=194.59 | ⑦ 1-1/2" 22.5° BEND
IE=196.99 |
| ② 8" 45° BEND
IE=195.48 | ⑧ 1-1/2" 11.25° BEND
IE=196.99 |
| ③ NOT USED | ⑨ 8" 45° BEND
IE=196.41 |
| ④ 8" 45° BEND
IE=195.20 | ⑩ 8" 45° BEND
IE=195.88 |
| ⑤ 8" 45° BEND
IE=195.86 | ⑪ 8" 22.5° BEND
IE=195.43 |
| ⑥ 8" 45° BEND
IE=196.58 | ⑫ 8" 22.5° BEND
IE=195.42 |



TYPICAL SWALE SECTION A-A
NTS

FOOTING DRAIN
LATERAL DATA

- A INSTALL 4" SD LATERAL
IE = 197.04
- B INSTALL 4" SD LATERAL
IE = 196.90

PRIVATE STORM DRAIN DATA

- | | |
|--|---|
| ① FOR INFORMATIONAL PURPOSES ONLY, TO BE CONSTRUCTED W/ PIP IMPROVEMENTS
OLD CASTLE 660 INLET
RIM = 196.35'
12" IE IN(NE) = 192.41
30" IE IN(S) = 192.41
18" IE OUT = 192.41
18" IE OUT = 192.41 | ④ 18" RISER & LID PER ATTACHED ADS DETAILS
RIM = 198.35'
IE = 192.91 |
| ② 60" WQ MH W/NOOUT AND BOLT DOWN LID
RIM = 197.19'
10" IE IN(SW) = 193.36
24" IE OUT = 193.36 | ⑤ 60" FLOW CONTROL MH W/BOLT DOWN LID
RIM = 197.30'
24" IE IN = 192.48
12" IE OUT = 192.48 |
| ③ 18" RISER & LID PER ATTACHED ADS DETAILS
RIM = 198.22'
IE = 192.93 | ⑥ FOR INFORMATIONAL PURPOSES ONLY, TO BE CONSTRUCTED W/ PIP IMPROVEMENTS
60" SLOPED INLET MH
RIM = 193.60'
10" IE IN(W) = 192.71
30" IE OUT(N) = 192.51
10" IE OUT(E) = 193.49
WEIR WALL EL = 194.47
SUMP = 191.01 |
| | ⑦ 48" FLAT TOP MH W/BOLT DOWN LID
RIM = 196.50'
10" IE IN = 193.45
10" IE OUT = 193.45 |



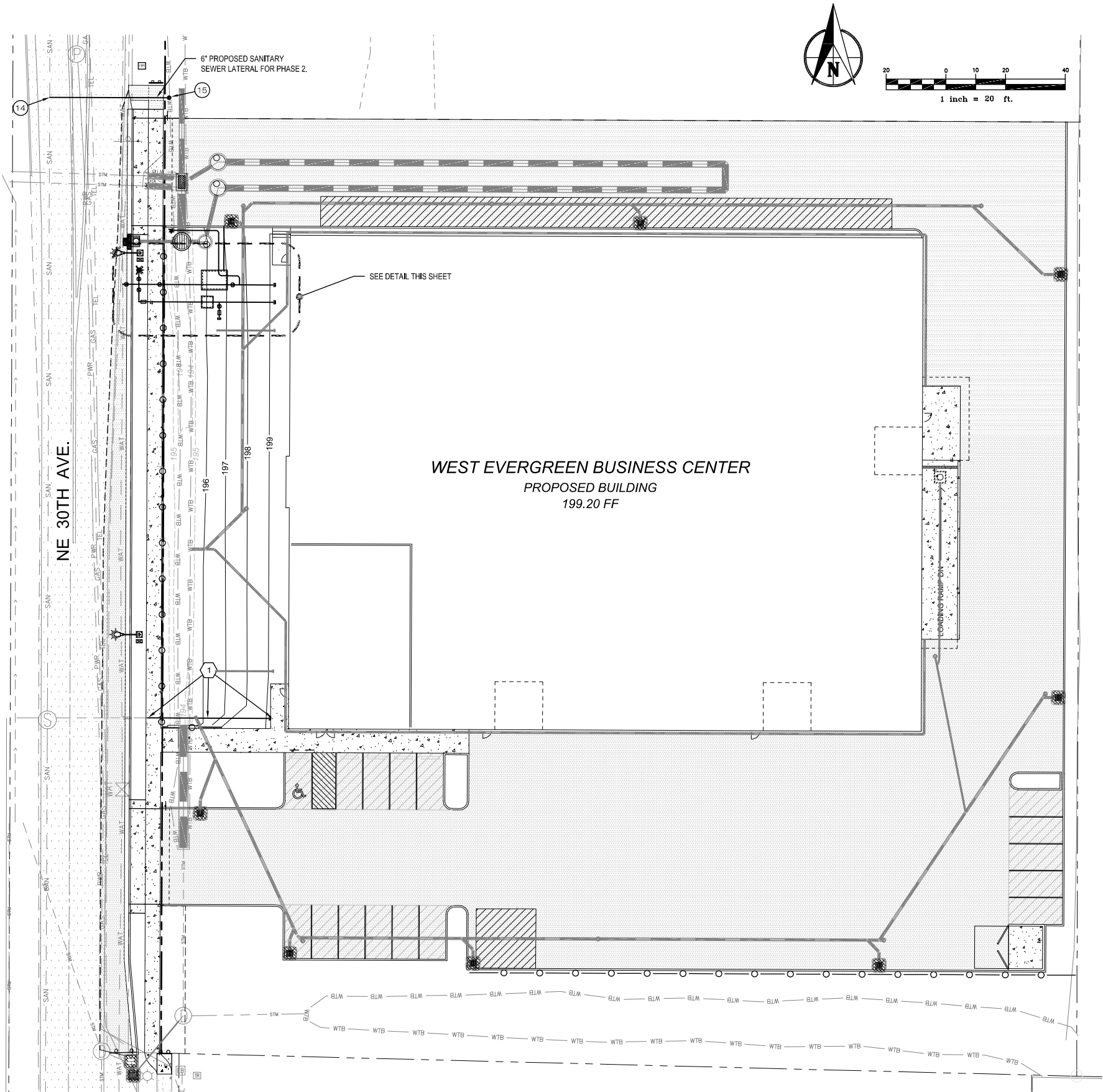
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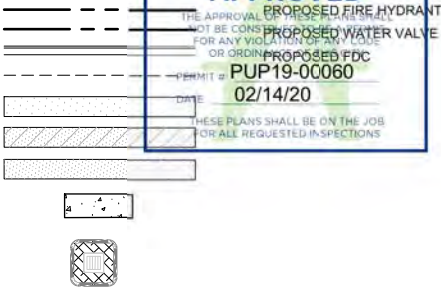
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DESIGNED BY: CPK
CHECKED BY: CPK

C107



LEGEND

- RIGHT OF WAY
- PROPERTY LINE
- CURB AND GUTTER
- PUBLIC UTILITY EASEMENT
- EXTG. PAVEMENT AREA
- PROPOSED LIGHT AC PAVEMENT
- PROPOSED HEAVY AC PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED CATCHBASIN



GENERAL NOTES

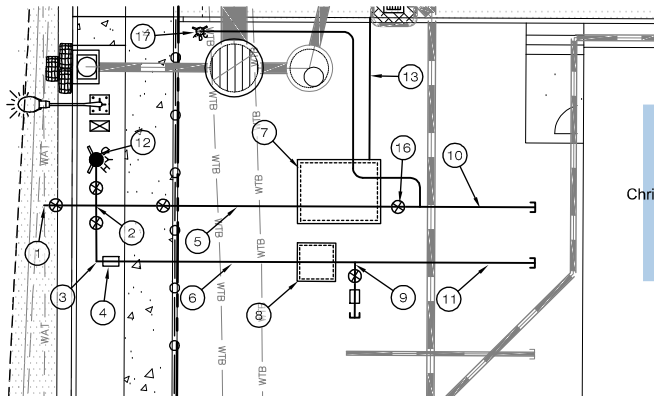
- ALL CITY OWNED DUCTILE IRON PIPE TO BE ZINC COATED PER CITY HILLSBORO STANDARDS.
- WATERLINE TO BE MECHANICALLY RESTRAINED FOR FULL PIPE LENGTH ALONG 6" FIRE LINE.
- ALL VALVES CONTROLLING CONNECTIONS TO WATER SUPPLIES AND TO SUPPLY PIPE TO SPRINKLERS SHALL BE LISTED INDICATING VALVES.
 - A PIV SHALL BE INSTALLED NOT LESS THAN 40 FEET FROM THE PROTECTED BUILDING, UNLESS AN ALTERNATIVE DESIGN IS APPROVED BY THE FIRE CODE OFFICIAL.
 - THE INSTALLATION HEIGHT OF THE PIV SHALL BE 32 TO 40 INCHES ABOVE THE FINAL GRADE.
 - A MINIMUM OF 3 FEET OF WORKING CLEARANCE SHALL BE MAINTAINED AROUND THE PIV.
 - THE PIV SHALL BE ELECTRICALLY SUPERVISED BY A LISTED FIRE ALARM CONTROL UNIT PER THE OREGON FIRE CODE. A PADLOCK IS NOT SUFFICIENT FOR SECURING A VALVE CONTROLLING THE WATER SUPPLY TO A SPRINKLER SYSTEM.
 - A REMOTE PIV SHALL HAVE A BREAKAWAY PADLOCK SECURING THE REMOVABLE HANDLE. A WALL MOUNTED PIV SHALL HAVE A CHAIN AND LOCK TO PREVENT TAMPERING.

SANITARY LATERAL DATA

- CONNECT TO AND EXTEND EXIST 8" LATERAL @ 2% MIN SLOPE TO 5' FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.

WATER NOTES

- SEE PIP SET.
- SEE PIP SET.
- SEE PIP SET.
- SEE PIP SET.
- CONTRACTOR TO INSTALL 6" DIP FIRE LINE.
- CONTRACTOR TO INSTALL 2" WIRSBO DOMESTIC LINE.
- CONTRACTOR TO INSTALL 6" FIRE LINE DOUBLE CHECK VALVE ASSEMBLY PER COH DETAIL 640-5B, W/ SUMP PUMP, ELECT. AND SUMP DRAIN.
- CONTRACTOR TO INSTALL 1" DOUBLE CHECK VALVE ASSEMBLY PER COH DETAIL 640-3A.
- CONTRACTOR TO INSTALL TEE, GATE VALVE AND DOUBLE CHECK VALVE ASSEMBLY FOR LANDSCAPE USE PER COH DETAIL 640-3A. SEE LANDSCAPE PLANS FOR CONTINUATION AND SIZING.
- CONTRACTOR TO INSTALL 6" DIP FIRE LINE, CAP 5' FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- CONTRACTOR TO INSTALL 2" WIRSBO DOMESTIC LINE, CAP 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- SEE PIP SET.
- CONTRACTOR TO INSTALL 1-1/2" SCH 80 SUMP PUMP DRAIN LINE, WEEP THROUGH CURB.
- SEE PIP SET.
- SEE PIP SET.
- POST INDICATOR VALVE PER COH DETAIL 640-5B.
- FDC PER COH DETAIL 640-5B.



WATER DETAIL

SCALE: 1"=10'

Chris Kittredge
Digitally signed by Chris Kittredge
DN: cn=Chris Kittredge, o=Kittredge Engineers, LLC, ou=Kittredge Engineers, LLC, cn=Chris Kittredge
Date: 2020.02.03 12:38:32-08'00'

SANITARY SEWER AND WATER PLAN
- PUP SET -
WEST EVERGREEN BUSINESS CENTER
NE 30TH & EVERGREEN 1, LLC
4804 NW BETHANY BLVD. STE 1-3, PORTLAND, OR 97229
BRAD TAGGART (503) 914-7166

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SHEET

C108